

PRECIOUS LAMB

LONG BEACH, CA

CUP PERMIT SUBMITTAL 5/17/2024

PROJECT INFORMATION

BUILDING ADDRESS:	1250 PACIFIC AVE. LONG BEACH, CA 90813
CONSTRUCTION TYPE:	1A
DESCRIPTION OF USE:	DAYCARE I-4
OCCUPANCY CLASSIFICATION:	EXISTING - B PROPOSED - I-4
OCCUPANCY LOAD:	FIRST FLOOR = 275 EXISTING SECOND FLOOR (N.I.C.) = 91 TOTAL: 366 OCCUPANTS
SPRINKLERED BUILDING:	YES
FIRE ALARM SYSTEM REQUIRED:	YES
NUMBER OF FLOORS:	2
LOT AREA:	1.31 ACRE
BUILDING AREA:	14,273 SF (10,504 SF 1ST FLOOR / 3,769 SF 2ND FLOOR + 1,432 SF MECHANICAL ROOM)
AREA OF WORK:	10,504 SF (1ST FLOOR)
PARKING:	NO PARKING REQUIRED PER AB 1097
SCOPE OF WORK:	TENANT IMPROVEMENT TO INCLUDE DEMOLITION OF NON-STRUCTURAL PARTITIONS & CEILING, CONSTRUCTION OF NEW PARTITIONS, CEILING, POWER & FINISHES ON THE FIRST FLOOR OF AN EXISTING 2 STORIES BUILDING. ALSO INSTALLING 2 NEW PLAYGROUND.
ARCHITECT:	KAMUS + KELLER, INC. 3760 KILROY AIRPORT WAY SUITE 100 LONG BEACH CA 90806 CONTACT: DAVID CHAU 562.216.5244
BUILDING OWNER:	Tang Trust 1022 WEST 15TH STREET LONG BEACH, CA 90813 CONTACT: MATT CULLEN 562.485.6284

CODE COMPLIANCE

- THE PROJECT SHALL COMPLY WITH CODES, ORDINANCES, OR LAWS HAVING JURISDICTION ON THE PROJECT. WHICH INCLUDE, BUT ARE NOT LIMITED TO:
 - 2022 CALIFORNIA ADMINISTRATIVE CODE "TITLE 24" (CAC)
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC), INCL. 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA FIRE CODE (CFC)
- THE PROJECT SHALL COMPLY WITH CEC TITLE 24 FOR ENERGY COMPLIANCE.
- THE TENANT SPACE, THE MAIN ENTRANCES AND EXITS, PATH OF TRAVEL AND SANITARY FACILITIES SERVING THE TENANT SPACE SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES PER CBC TITLE 24 DISABLED ACCESS COMPLIANCE.
- ALL AREAS OF NEWLY DESIGNED AND NEWLY CONSTRUCTED BUILDINGS AND FACILITIES AND ALTERED PORTIONS OF EXISTING BUILDINGS AND FACILITIES SHALL COMPLY WITH SECT. 11B-201.1.
- ALL EXTERIOR DOORS, WINDOWS AND ROOF OPENINGS SHALL COMPLY WITH THE UNIFORM BUILDING SECURITY CODE.

DESIGN/BUILD WORK

- THE GC SHALL PROVIDE THE FOLLOWING WORK ON A DESIGN/BUILD BASIS:
 - FIRE/LIFE/SAFETY
 - FIRE SPRINKLERS
 - CODE REQUIRED SIGNAGE
- ENGINEERED DRAWINGS SHALL BE PREPARED AND STAMPED/SIGNED BY A LICENSED ENGINEER. SUBCONTRACTORS SHALL SUBMIT A PDF SET OF DRAWINGS FOR LANDLORD AND ARCHITECT REVIEW.
- SUBCONTRACTORS SHALL SUBMIT THE REQUIRED DOCUMENTS TO THE APPROPRIATE CITY/COUNTY AGENCY FOR APPROVAL AND PERMITTING.
- ALL PRODUCTS, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE PROVIDED PER THE APPROVED BUILDING STANDARD. ALL CONTRACTORS SHALL ABIDE BY THE BUILDING'S CONSTRUCTION RULES AND REGULATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDLORD AND ARCHITECT.
- AT THE COMPLETION OF CONSTRUCTION, THE GC SHALL PROVIDE AS-BUILT DRAWINGS (INCLUDING ALL REVISIONS MADE DURING THE CONSTRUCTION PHASE) TO THE LANDLORD AND ARCHITECT AS PART OF THE CLOSE-OUT PACKAGE. THE CLOSE-OUT PACKAGE SHALL INCLUDE ALL WARRANTIES, GUARANTIES AND OPERATING MANUALS. DELIVERY OF THIS PACKAGE IS REQUIRED TO PRIOR TO FINAL PAYMENT.
- THE COST OF THE ABOVE WORK, SHALL BE INCLUDED AS PART OF THE BID AND CONTRACT SUM FOR THIS PROJECT.

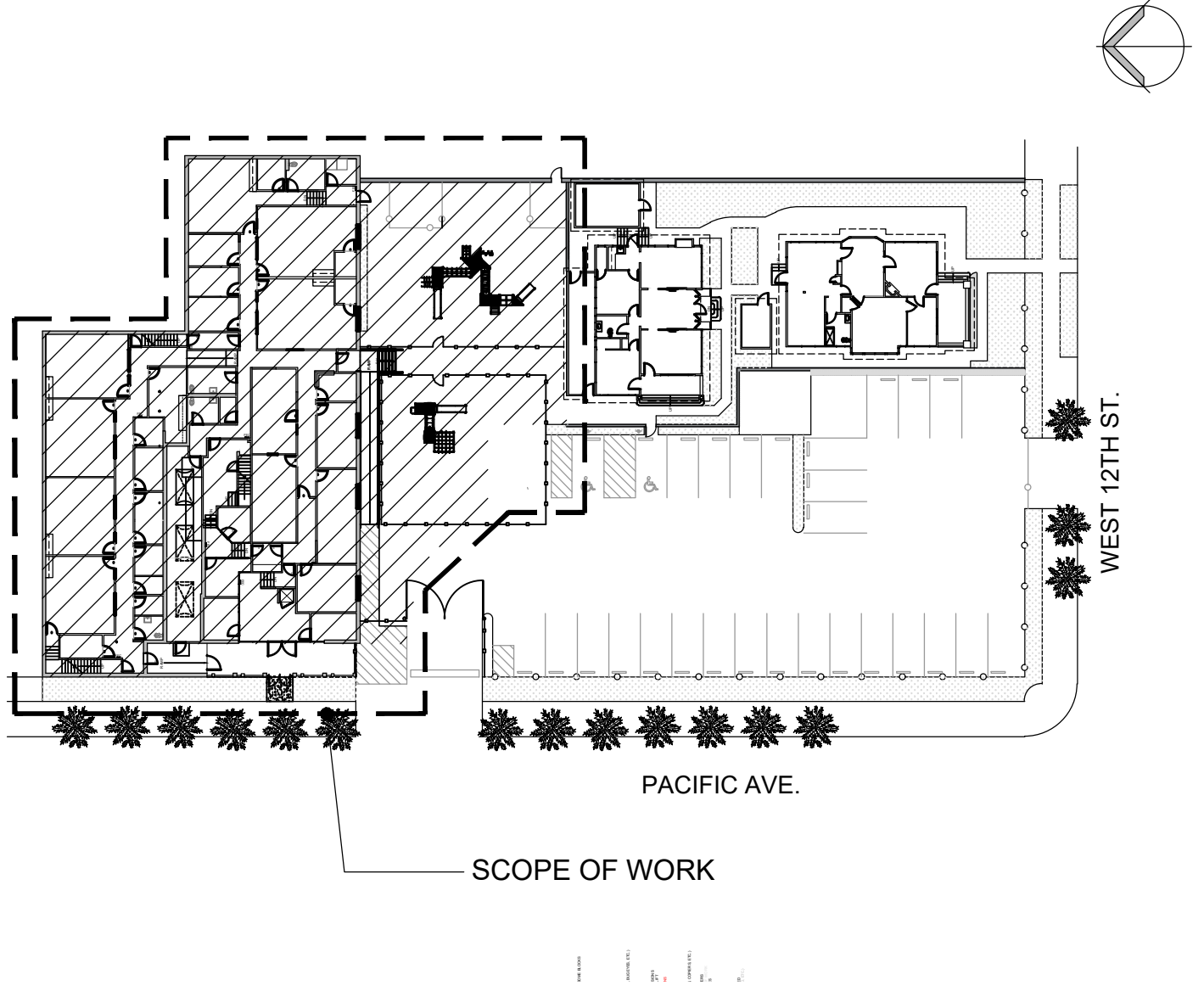
TO BE SUBMITTED UNDER SEPARATE PERMIT

- FIRE/LIFE/SAFETY
- FIRE SPRINKLERS

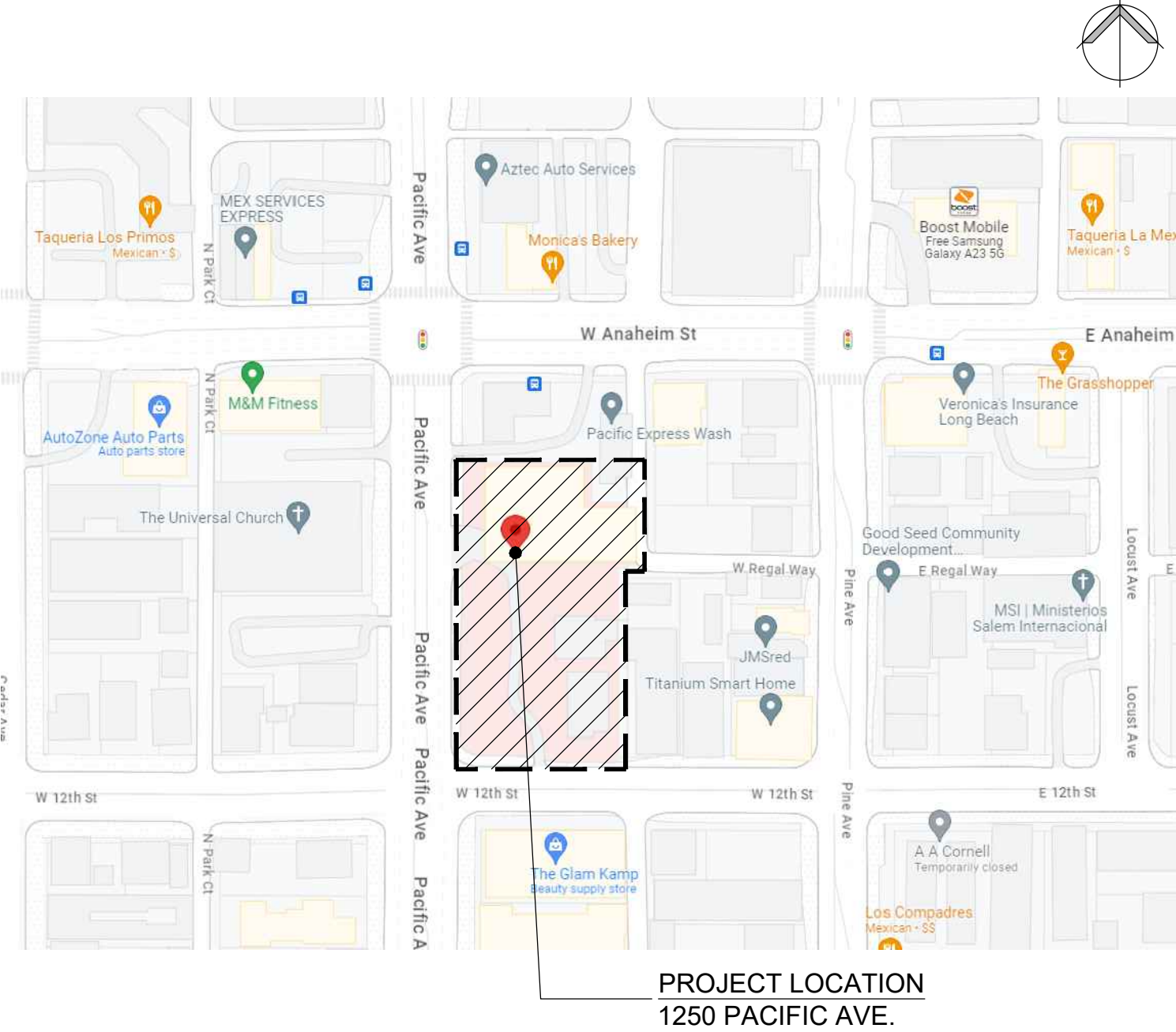
SHEET INDEX

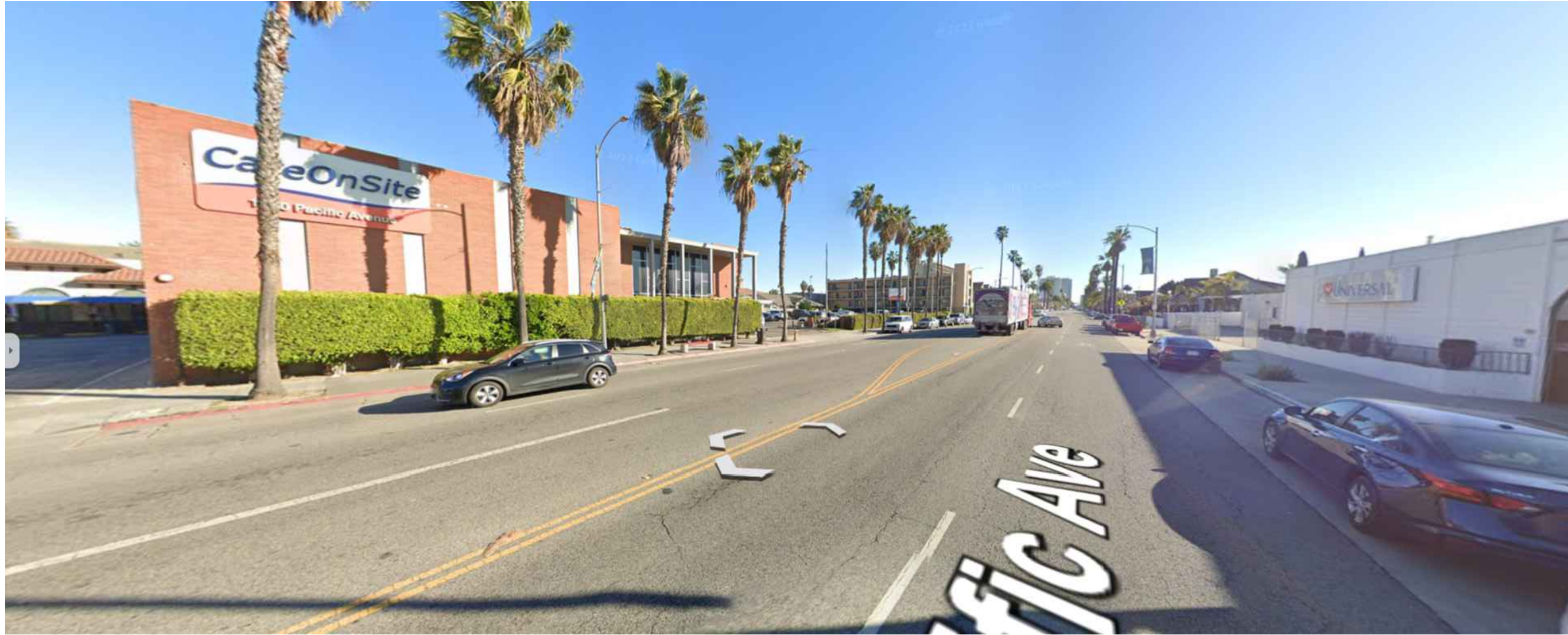
ARCHITECTURAL	
C.S.	COVER SHEET
A-0.0	SITE PHOTOS
A-0.1	DEMOLITION SITE PLAN
A-0.2	PROPOSED SITE PLAN & ACCESSIBLE PATH OF TRAVEL
A-0.3	EGRESS PATH OF TRAVEL
A-0.4	SITE DETAIL
A-1.1	DEMOLITION PLAN - 1ST FLOOR
A-1.2	DEMOLITION PLAN - 2ND FLOOR - FOR REFERENCE ONLY
A-2.1	PARTITION PLAN - 1ST FLOOR
A-3.1	REFLECTED CEILING PLAN - 1ST FLOOR
A-4.1	POWER & DATA PLAN -1ST FLOOR
GN-1.1	GENERAL NOTES

KEY PLAN



LOCATION PLAN





5 SITE PHOTO
Scale: NTS



2 SITE PHOTO
Scale: NTS



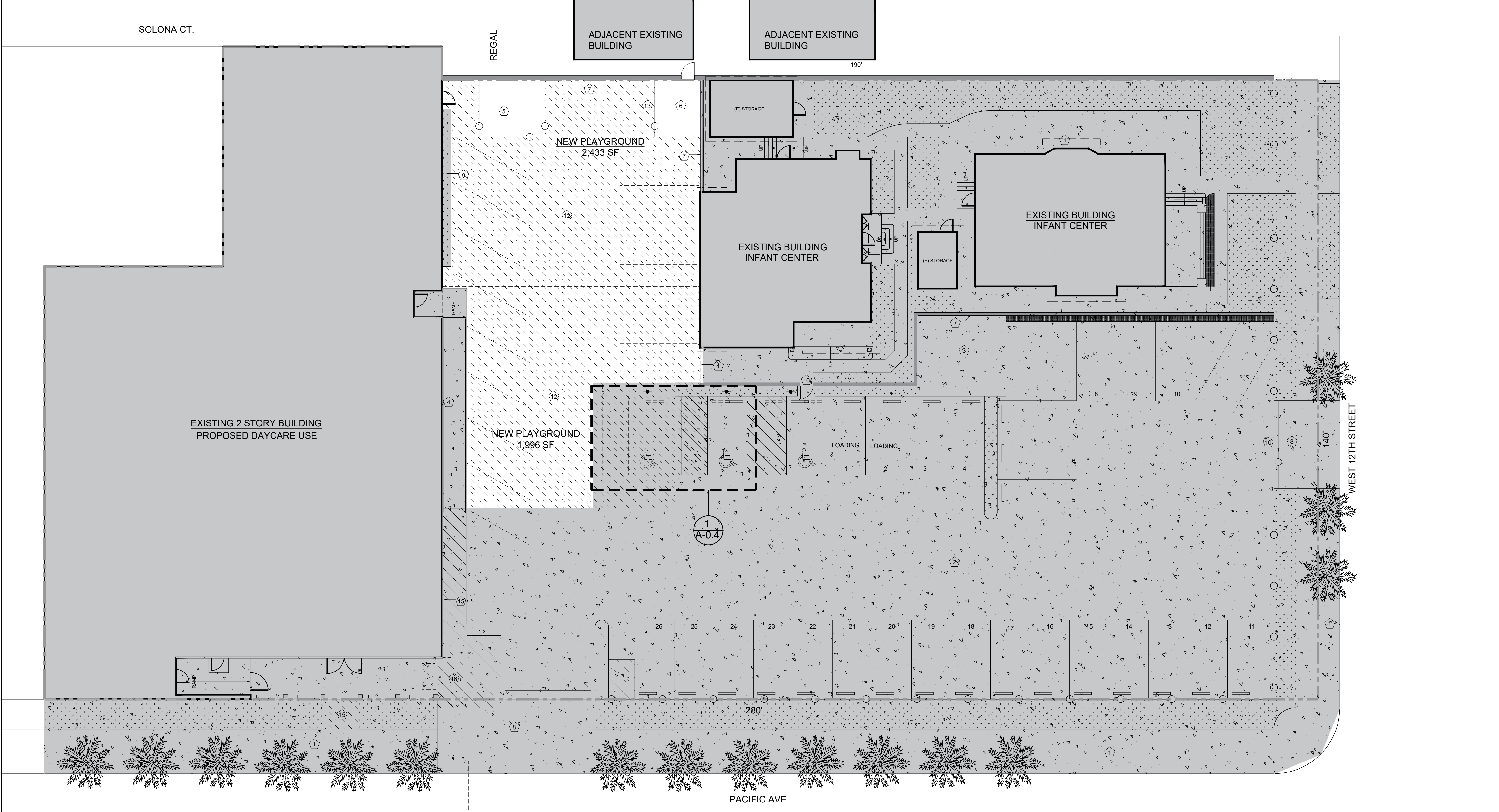
4 SITE PHOTO
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3 SITE PHOTO
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1 SITE PLAN - AERIAL
Scale: NTS



1 DEMOLITION SITE PLAN
SCALE: 3/32" = 1'-0"

DEMOLITION SITE PLAN LEGEND

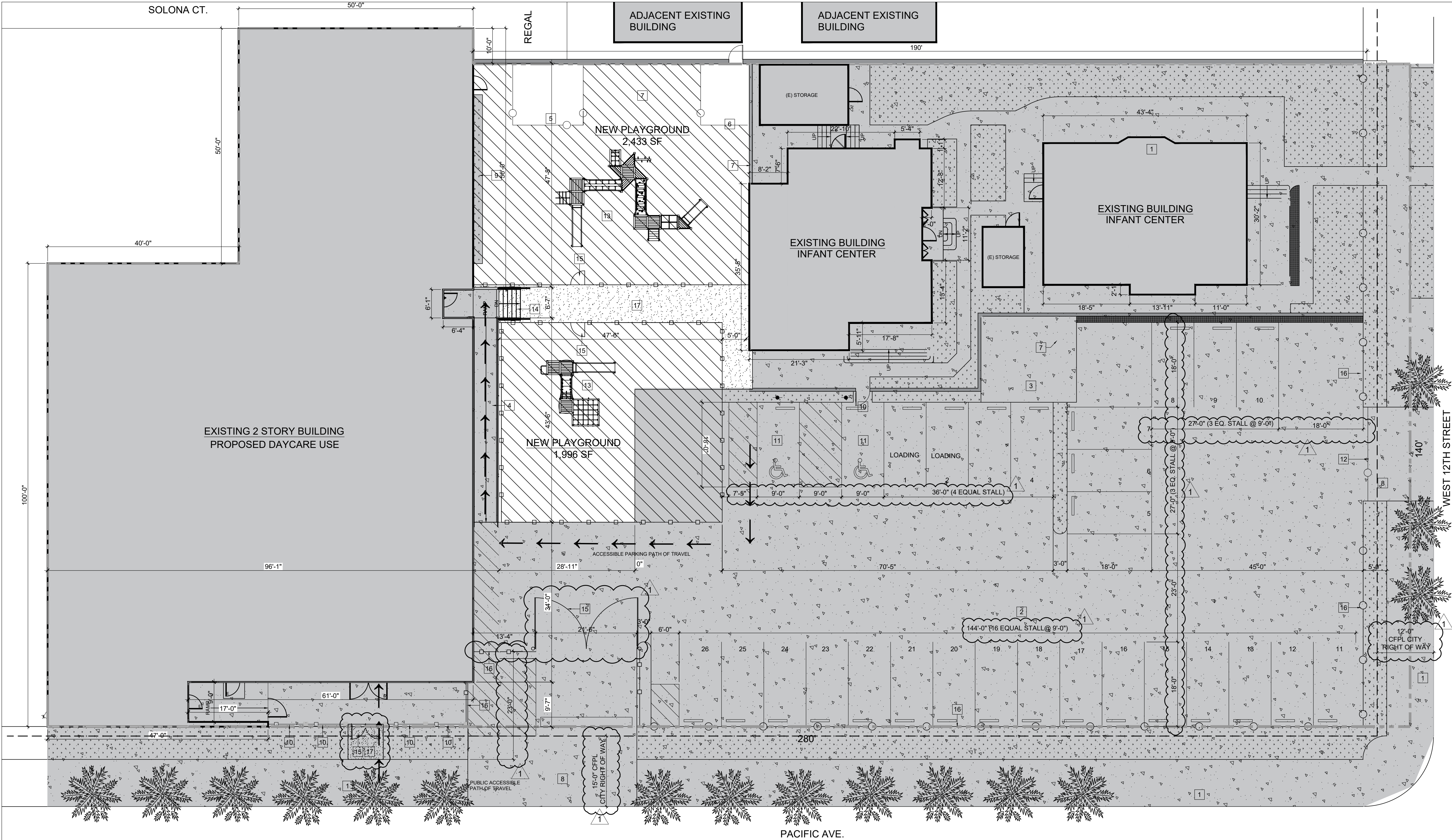
- PROPERTY LINE
- PROPOSED DEMOLITION
- EXISTING BUILDING
- EXISTING TO REMAIN
- EXISTING LANDSCAPE AREA
- EXISTING FENCE

DEMOLITION SITE KEY NOTES CONT.

- 12 DEMO AC PAVING PREP FOR NEW FINISH
- 13 DEMO TRASH ENCLOSURE
- 14 DEMO BLOCKWALL
- 15 DEMO PLANTER
- 16 DEMO GATE

DEMOLITION SITE KEY NOTES

- 1 EXISTING CONCRETE WALKWAY
- 2 EXISTING PARKING LOT PAVING
- 3 EXISTING CONCRETE PAD
- 4 EXISTING ADA COMPLIANT RAMP W METAL RAILING
- 5 EXISTING TRANSFORMER ENCLOSURE
- 6 EXISTING TRASH ENCLOSURE
- 7 EXISTING BLOCK WALL
- 8 EXISTING DRIVEWAY
- 9 EXISTING PLANTER
- 10 EXISTING GATE
- 11 EXISTING ADA PARKING STALL



1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

SITE PLAN GENERAL NOTES CONT.

J A) NOTE TO OWNER: IT IS ADVISED THAT THE CONDITION OF THE PRIVATE WATER LINE FROM PUBLIC WATER METER TO PROPERTY LINE BE EVALUATED.

K 1) SEWER CONNECTIONS:
A) SEWER CONNECTIONS SHALL BE MADE TO THE SMALLEST SEWER MAIN ACCESSIBLE TO THE SITE.
B) ALL NEW SEWER CONNECTIONS WILL REQUIRE THE INSTALLATION OF A NEW CUT-IN WYE.
C) A NEW SEWER CLEANOUT SHALL BE INSTALLED FOR ALL SEWER CONNECTIONS PER LBUD STANDARDS AT THE PROPERTY LINE.
D) PRIOR TO SUBMITTAL OF OFF-SITE UTILITIES DESIGN PLAN, DEVELOPER SHALL PERFORM A VIDEO INSPECTION OF EXISTING SEWER LATERALS TO REMAIN FROM THE PROPERTY LINE TO THE SEWER MAIN UNDER THE SUPERVISION OF AN LBUD INSPECTOR. THEY SHALL SUBMIT CCTV RESULTS TO THE LBUD DEVELOPMENT SERVICES GROUP AND MAKE REPAIRS DEPICTED IN THE APPROVED OFF-SITE UTILITIES DESIGN PLAN TO THE SATISFACTION OF LBUD.
E) PLEASE REFER TO THE LBUD SEWER RULES AND REGULATION, SECTION 1404 "SEVERAL STRUCTURES ON ONE LOT AND SECTION 1405 "BUILDING SEWER CONNECTION ACROSS ANOTHER LOT."
F) ALL NEW LATERALS SHALL BE 10 FEET MINIMUM FROM POTABLE WATER SERVICES.

L 1) EASEMENTS: UPON ABANDONMENT OF EXISTING SEWER MAIN ON PROPERTY, EXISTING EASEMENT RESERVATION ALONG W. REGAL WAY SHALL BE VACATED, PROVIDED NO OTHER FACILITIES NECESSITATE THE CONTINUED EXISTENCE OF SAID EASEMENT. "AT NO TIME WILL THE DEPARTMENT APPROVE PLANS THAT INCLUDE LANDSCAPING (EXCEPT GRASS OR SHALLOW ROOT PLANTINGS) OR STRUCTURES (SUCH AS WALLS, DRAINAGE SYSTEMS, SIDEWALK, PAVERS, AND ANY KIND OF STAMPED OR DECORATIVE CONCRETE OR PERMANENT STRUCTURES OF ANY TYPE) PLACED WITHIN EASEMENTS." (REFERENCE LBUD RULES AND REGULATIONS SECTION 302, "CONSTRUCTION IN WATER DEPARTMENT EASEMENTS.")
A) THIS PROHIBITION INCLUDES (BUT IS NOT LIMITED TO) SIDEWALK, PAVERS, AND ANY KIND OF STAMPED OR DECORATIVE CONCRETE. IF DEVELOPER INTENDS TO PLACE TREES OR OTHER IMPROVEMENTS LISTED ABOVE WITHIN LBUD-OWNED EASEMENTS, DEVELOPER SHALL RELOCATE WATER OR SEWER MAIN(S) AT NO EXPENSE TO LBUD.
B) ADDITIONAL EASEMENTS WILL BE REQUIRED FOR ANY CONSTRUCTION OVER EXISTING LBUD WATER AND SEWER FACILITIES. EASEMENTS FOR WATER MAINS OR SEWER MAINS SHALL BE 20-FOOT WIDE AND CENTERED ON THE GIVEN MAIN.

SITE PLAN GENERAL NOTES CONT.

E A) FIRELINE SERVICE: REFER TO [https://www.lbutilities.org/development-services/water-development-services/install-new-potable-water-service-connection-for-requirements-and-instructions-for-the-design,-installation,-and-process-for-installing-a-new-fireline-including-the-dcda-if-fire-sprinkler-system-in-building-will-be-replaced,-existing-detector-check-connection-\(i.e.-single-check-underground-backflow-device\)-shall-be-replaced-with-a-new-lateral-and-dcda-meeting-current-lbud-standards](https://www.lbutilities.org/development-services/water-development-services/install-new-potable-water-service-connection-for-requirements-and-instructions-for-the-design,-installation,-and-process-for-installing-a-new-fireline-including-the-dcda-if-fire-sprinkler-system-in-building-will-be-replaced,-existing-detector-check-connection-(i.e.-single-check-underground-backflow-device)-shall-be-replaced-with-a-new-lateral-and-dcda-meeting-current-lbud-standards).

F A) IRRIGATION SERVICE: RESIDENTIAL SITES WITH LANDSCAPES OVER 5,000 SQUARE FEET AND FOR NON-RESIDENTIAL SITES WITH LANDSCAPES OVER 1,000 SQUARE FEET MUST HAVE A DEDICATED IRRIGATION SERVICE CONNECTION SEPARATE FROM THE SERVICE CONNECTION FOR NON-IRRIGATION USE. THE PRIVATE PIPELINE SYSTEMS FOR IRRIGATION AND NON-IRRIGATION USES MUST BE INDEPENDENT OF THE OTHER AND NOT CROSS-CONNECTED.
I) IRRIGATION PLAN SHALL BE SUBMITTED TO LBUD FOR REVIEW AND APPROVAL OF THE BACKFLOW DEVICE AND SERVICE SIZE.

G A) SERVICE SIZE: PROPOSED VELOCITY IN ALL WATER SERVICE LATERALS SHALL NOT EXCEED EIGHT (8) FEET PER SECOND AS CALCULATED PER THE LATEST EDITION OF THE CALIFORNIA PLUMBING CODE ADOPTED BY THE CITY, UNLESS OTHERWISE APPROVED BY LBUD. THE SERVICE SIZE FOR SITES WITH DEMANDS EXCEEDING 156 GALLONS PER MINUTE SHALL BE 4 INCHES OR GREATER PER WDS-011.

H A) BACKFLOW PREVENTION ASSEMBLIES SHALL BE REQUIRED ON ALL WATER SERVICES.
I) THE DEVICE SHALL BE LOCATED ON PRIVATE PROPERTY.
II) "A REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION DEVICE SHALL BE LOCATED AS CLOSE AS PRACTICAL TO THE USER'S CONNECTION AND SHALL BE INSTALLED A MINIMUM OF TWELVE INCHES (12") ABOVE GRADE AND NOT MORE THAN THIRTY-SIX INCHES (36") ABOVE GRADE MEASURED FROM THE BOTTOM OF THE DEVICE AND WITH A MINIMUM OF TWELVE INCHES (12") SIDE CLEARANCE." (17 CA ADC § 7863)
III) PLUMBING AND IRRIGATION PLANS SHALL BE SUBMITTED DIRECTLY TO THE LBUD FOR REVIEW AND APPROVAL. REFER TO <https://www.lbutilities.org/development-services/water-development-services/backflow-prevention-plan-check-for-further-details>.

I EACH PARCEL UNDER SEPARATE OWNERSHIP IS REQUIRED TO HAVE SEPARATE WATER SERVICES. PRIVATE CONNECTIONS DOWNSTREAM FROM THE METER THAT PASS THROUGH THE NEIGHBORING PARCEL SHALL BE PROVIDED WITH A PRIVATE EASEMENT. THE CITY SHALL NOT BE A PARTY TO SAID EASEMENT.

SITE PLAN GENERAL NOTES

A) POTHOLES, CASING REQUIREMENT: WATER MAINS AND WATER SERVICES 4 INCHES AND GREATER SHALL OBSERVE THE CALIFORNIA CODE OF REGULATIONS, TITLE 22, § 64572, WATER MAIN SEPARATION CRITERIA. IN LOCATIONS WHERE SUBSTRUCTURES RESEARCH INDICATES THE PRESENCE OF PIPELINES CONVEYING FLUIDS AS LISTED IN PARAGRAPHS (A) OR (B) OF § 64572:
A) I) THE LOCATIONS OF CONFLICTING UTILITIES SHALL BE DETERMINED EITHER BY POTHOLES OR REVIEW OF RECORD DRAWINGS, TO THE SATISFACTION OF THE LBUD PLAN CHECKER;
II) CIVIL ENGINEERS SHALL INCLUDE PROFILE DESIGNS TO SCALE (TYPICALLY 1" = 4' HORIZONTALLY AND VERTICALLY) THAT DEMONSTRATE COMPLIANCE WITH THE REQUIREMENTS OF § 64572, INCLUDING BUT NOT NECESSARILY LIMITED TO INSTALLING THE WATER PIPE IN STEEL CASING PER WDS-106.

B A) WATER SERVICE LOCATIONS, ZERO-PROPERTY-LINE BUILDINGS: THE DEVELOPER, ENGINEER, AND/OR ARCHITECT SHALL CONTACT THE LBUD WITHOUT DELAY TO REVIEW CONCEPTUAL DESIGN LOCATIONS FOR DCDA'S AND WATER METER ASSEMBLIES SIZED FOUR INCHES AND GREATER PRIOR TO FINAL DESIGN. UNLESS OTHERWISE APPROVED BY LBUD, REQUIREMENTS SHALL BE AS FOLLOWS:
I) DCDA AND METER ASSEMBLY SHALL BE OUTSIDE THE BUILDING WITH SUFFICIENT CLEARANCE;
II) ASSEMBLIES SHALL BE LOCATED WITHIN 5 FEET OF THE PROPERTY LINE;
III) DEVICE MUST BE ACCESSIBLE FOR MAINTENANCE BY LBUD CREWS;
IV) IN THE EVENT THE DCDA IS PERMITTED TO BE LOCATED INSIDE THE BUILDING FOOTPRINT, BUILDING OWNER SHALL MAINTAIN THE DEVICE AFTER INITIAL CERTIFICATION, PIPING WITHIN THE BUILDING AND UPSTREAM OF THE DCDA SHALL BE NSF-61 CERTIFIED. INSTALLATION IS THE RESPONSIBILITY OF THE OF THE BUILDING OWNER. PIPE SHALL PASS PRESSURE TEST AND BACTERIA TESTING PER AWWA STANDARDS UNDER LBUD INSPECTION.

C CONNECTIONS MAY ONLY BE MADE TO WATER MAINS 12 INCHES AND SMALLER.

D A) DEVELOPER SHALL POTHOLE ALL INTERFERING UTILITIES DURING THE DESIGN PHASE TO THE SATISFACTION OF LBUD.

PROPOSED SITE PLAN LEGEND

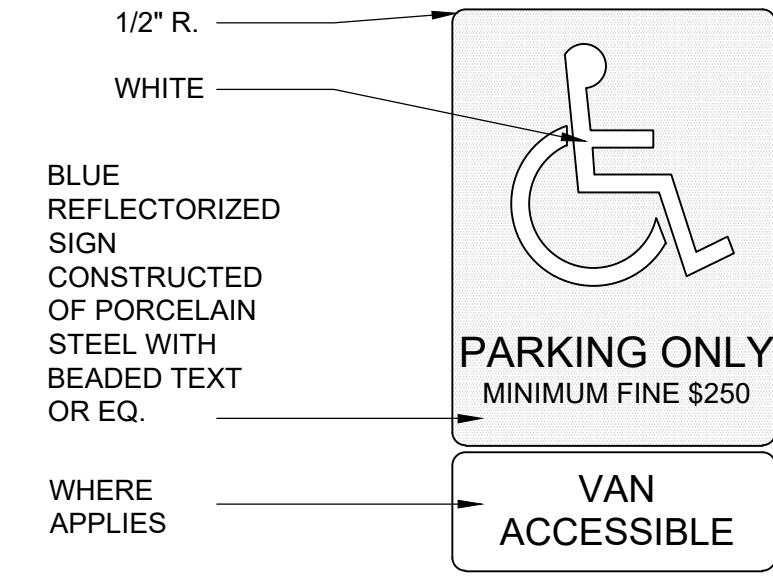
- PROPERTY LINE
- EXISTING BUILDING
- EXISTING TO REMAIN
- EXISTING LANDSCAPE AREA
- NEW CONCRETE WALKWAY
- NEW PLAYGROUND FLOORING, DETAILS TBD.
- NEW FENCE
- ACCESSIBLE PATH OF TRAVEL

OUTDOOR PLAY AREA CALS

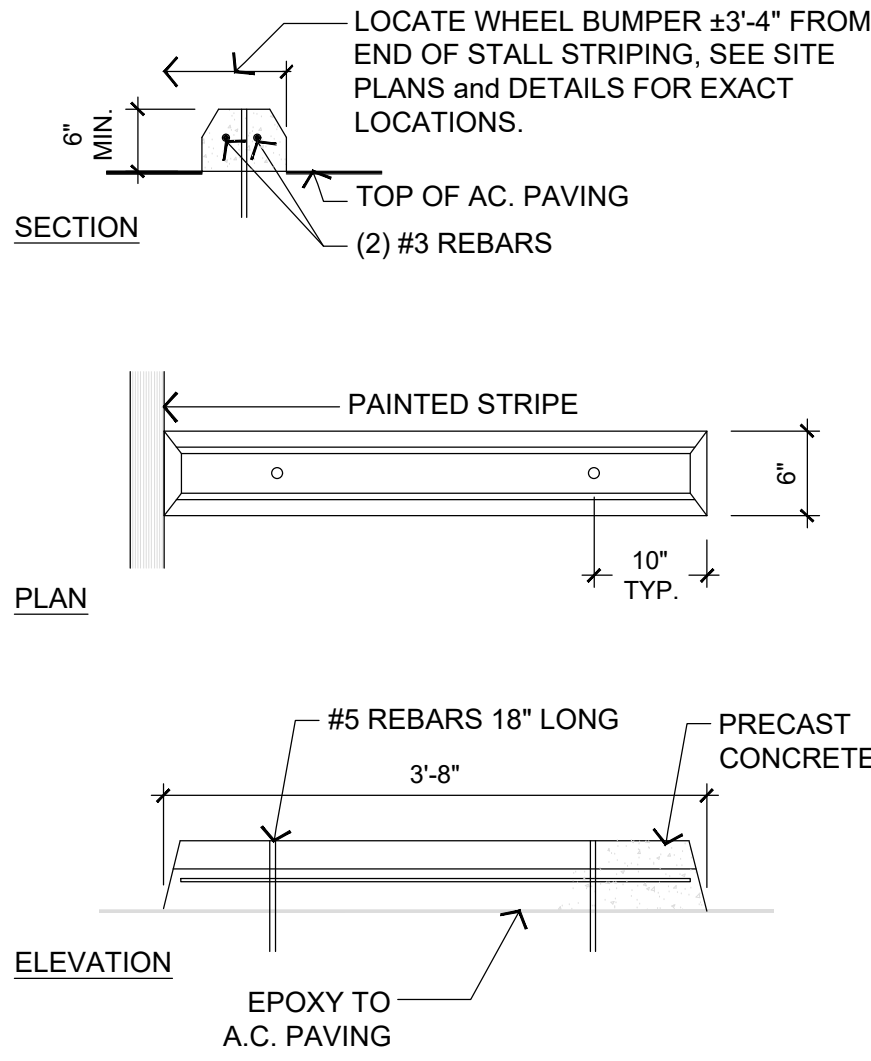
75 SF OF OUTDOOR PLAY AREA PER 1 CHILD
30 CHILDREN X 75 SF = 2,250 SF REQUIRED

PROPOSED SITE KEY NOTES

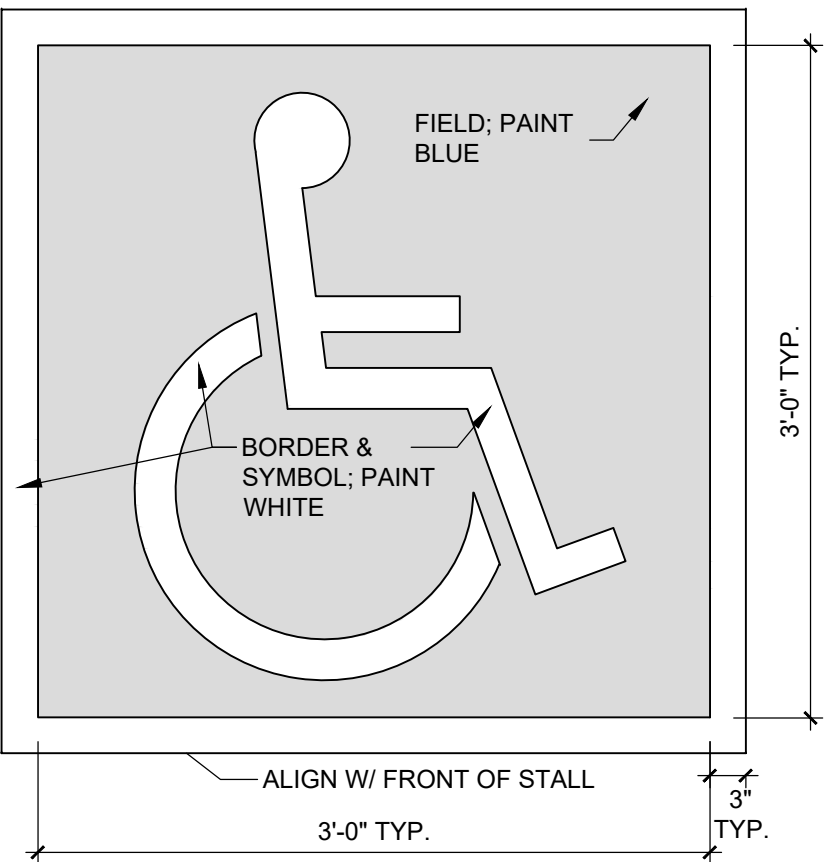
- EXISTING CONCRETE WALKWAY
- EXISTING PARKING LOT PAVING
- EXISTING CONCRETE PAD
- EXISTING ADA COMPLIANT RAMP W METAL RAILING
- EXISTING TRANSFORMER ENCLOSURE
- EXISTING TRASH ENCLOSURE
- EXISTING BLOCK WALL
- EXISTING DRIVEWAY
- EXISTING PLANTER
- EXISTING FENCE
- EXISTING ADA PARKING STALL
- EXISTING SLIDING GATE
- NEW PLAYGROUND EQUIPMENT, DETAILS TBD.
- NEW CONCRETE STAIR W/ METAL RAILING
- NEW SWINGING GATE
- NEW PERIMETER FENCE
- NEW CONCRETE WALKWAY



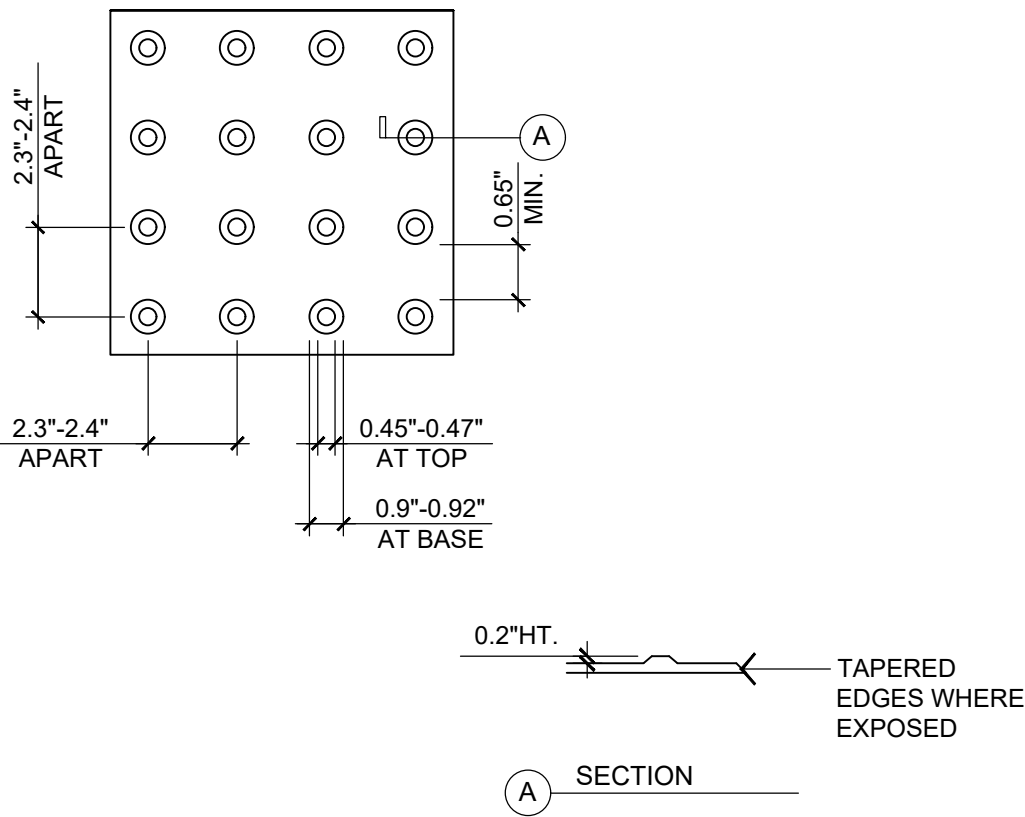
- NOTES:
1. AREA OF SYMBOL SHALL BE 70 SQ. IN. MIN.
 2. SIGN SHALL BE PLACED IN FRONT OF EACH ACCESSIBLE PARKING STALL, WITHIN CLEAR VIEW, BUT NOT PLACED SO AS TO OBSTRUCT PASSAGE FROM ANY PARKING STALL OR WALKWAY.



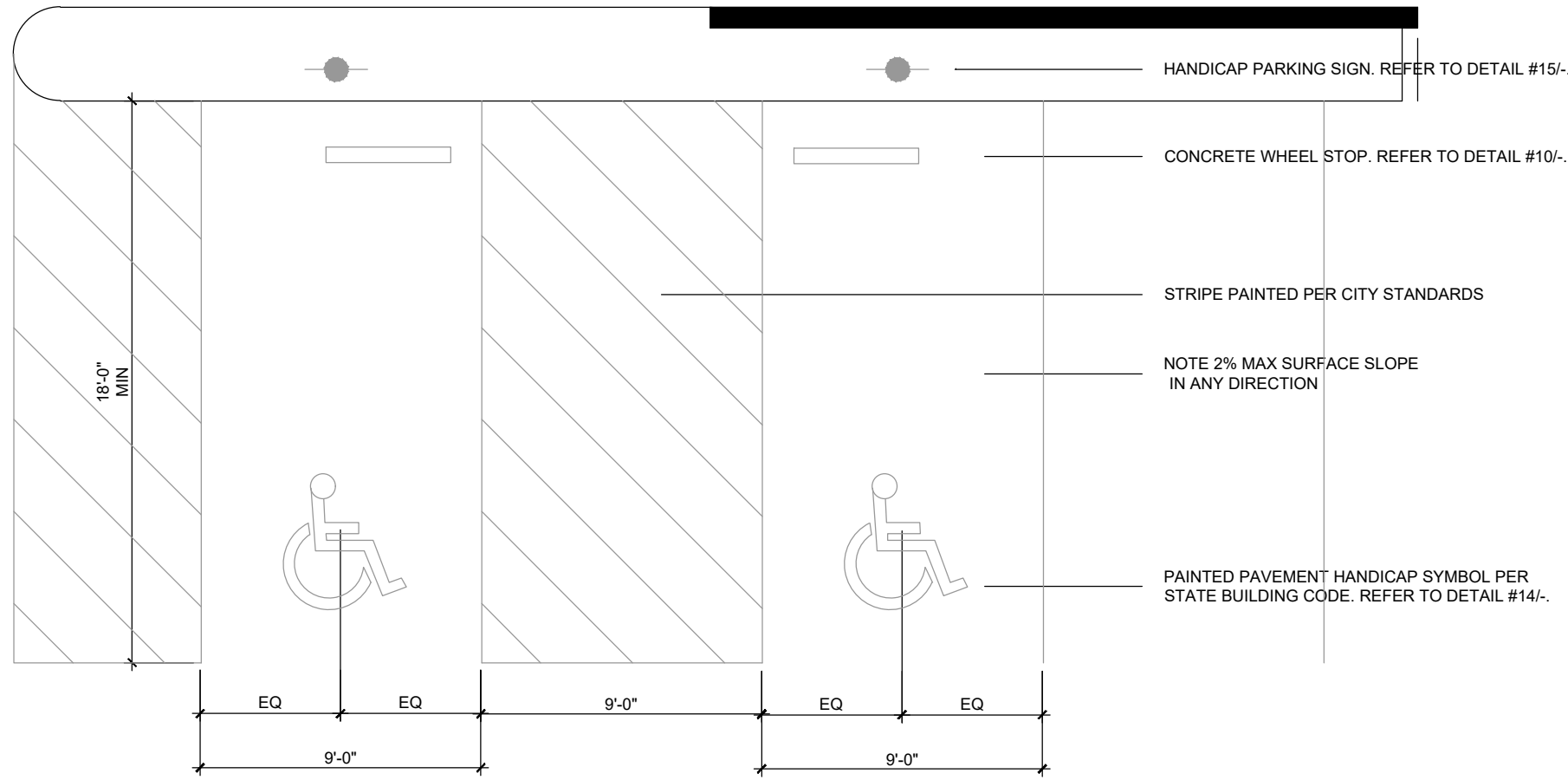
10 WHEEL STOP
NTS



- NOTES:
1. ALL STROKES TO BE MIN. 3\"/>
 2. PROVIDE TWO (2) COATS OF REFLECTIVE PAINT. LET DRY BETWEEN COATS.
 3. LOCATE SYMBOL CENTERED @ FRONT OF STALL, AS SHOWN ON SITE PLAN.
 4. SYMBOL TO COMPLY W/ CURRENT STATE AND LOCAL REQUIREMENTS.

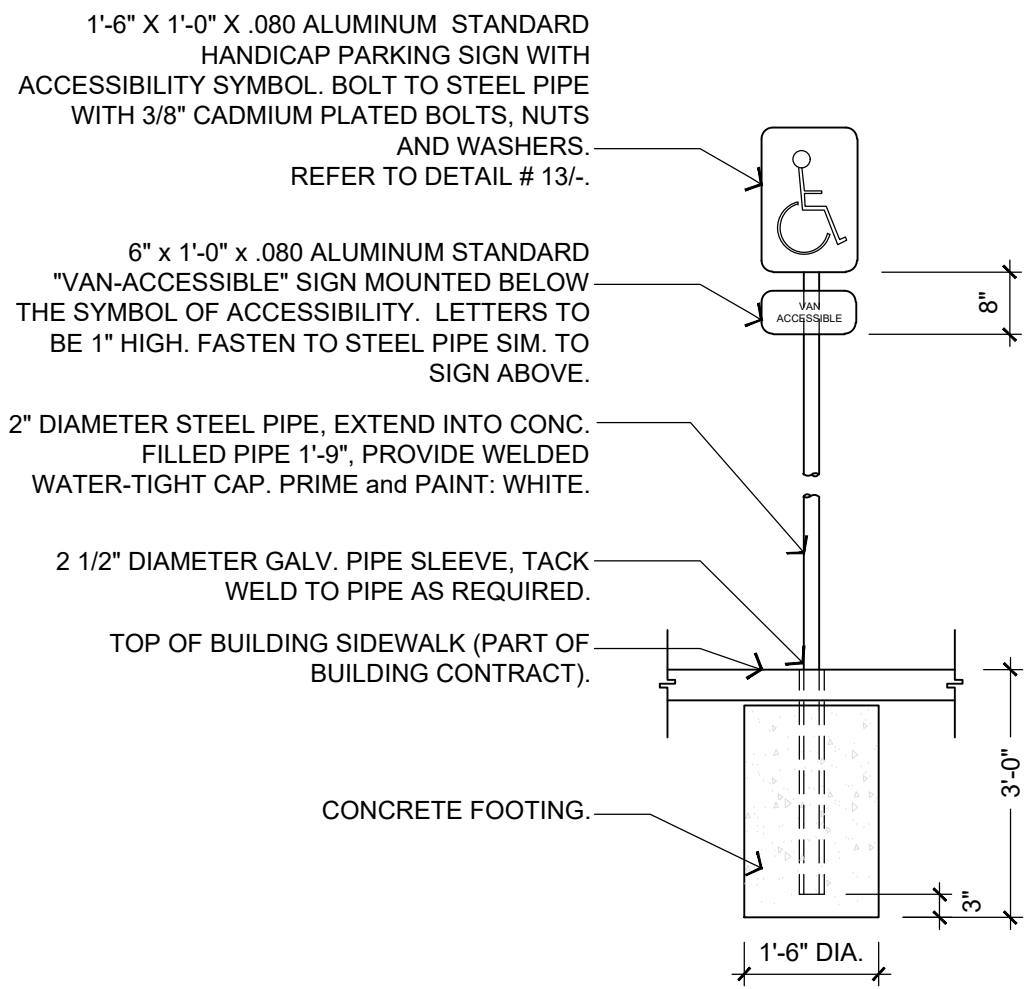


- NOTES:
1. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. VERIFY WITH APPROPRIATE JURISDICTION.
 2. DETECTABLE WARNING SURFACES SHALL DIFFER FROM ADJOINING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.
 3. DETECTABLE WARNING SURFACES SHALL BE YELLOW AND APPROXIMATE 33538 OF SAE AMS-STD-595A



1 ENLARGED EXISTING ACCESSIBLE PARKING
NTS

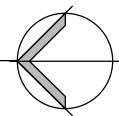
14 INTERNATIONAL ACCESSIBILITY SYMBOL
NTS



- NOTES:
1. "HANDICAP PARKING" & "VAN ACCESSIBLE" SIGNS TO CONFORM TO CURRENT LOCAL, STATE CODES & REGULATIONS.
 2. BOTTOM OF SIGN(S) SHALL BE 6'-8" ABOVE FINISH SURFACE.

15 PARKING SIGN @ SIDEWALK
NTS

△	FOR REVIEW	XX.XX.XX	XX
△	CUP PLANNING SUBMITTAL	1/19/2024	DC
△	CUP PLANNING RESUBMITTAL	5/17/2024	
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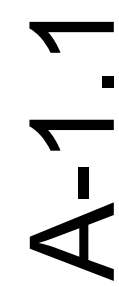


F. INCLUDE OF ALL ATTACHMENT DEVICES (SHOT PINS, ANCHORS, LAB BOLTS, NAILS, NAILERS, SHIMS, ETC.)

G. EXISTING WATER SERVICES:
i) unless OTHERWISE APPROVED BY LBUD, ALL METER SHALL BE REMOVED.

EXISTING SEWER:
i) THE EXISTING 8 INCH VCP SEWER MAIN IN W. REGAL WAY SHALL BE ABANDONED IN PLACE;
ii) OWNER SHALL ABANDON IN PLACE EXISTING SEWER LATERALS THAT RUN THROUGH PUBLIC RIGHT-OF-WAY AND CURRENTLY SERVE NO BUILDINGS.

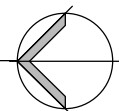
H. i) CONFIRM LOCATION OF SEWER PIPE SERVING 126 W 12TH STREET, AND EITHER:
(1) OBTAIN PRIVATE EASEMENT FROM OWNER OF 125 W 12TH STREET FOR SEWER MAINTENANCE PURPOSES (REFER TO SECTION 4(E)); OR (2) ENSURE THAT SEWER CONNECTION FOR THE BUILDING WILL NOT ENTER THE NEIGHBORING PROPERTY.
iv) ALL MAPS AND RECORD DRAWINGS PROVIDED BY LBUD SHALL BE FIELD VERIFIED
v) DEVELOPER SHALL USE MEANS SUFFICIENT TO CONFIRM THAT ALL LATERALS HAVE BEEN CAPPED AND ABANDONED PER THE APPROVED PLANS BEFORE DURING THE DEMOLITION PHASE.



	EXISTING WALL TO REMAIN.
###	DOOR DESIGNATION, REFER TO DOOR SCHEDULE ON A-2.2
E	INDICATES EXISTING
R	INDICATES RELOCATED
NIC	NOT IN CONTRACT

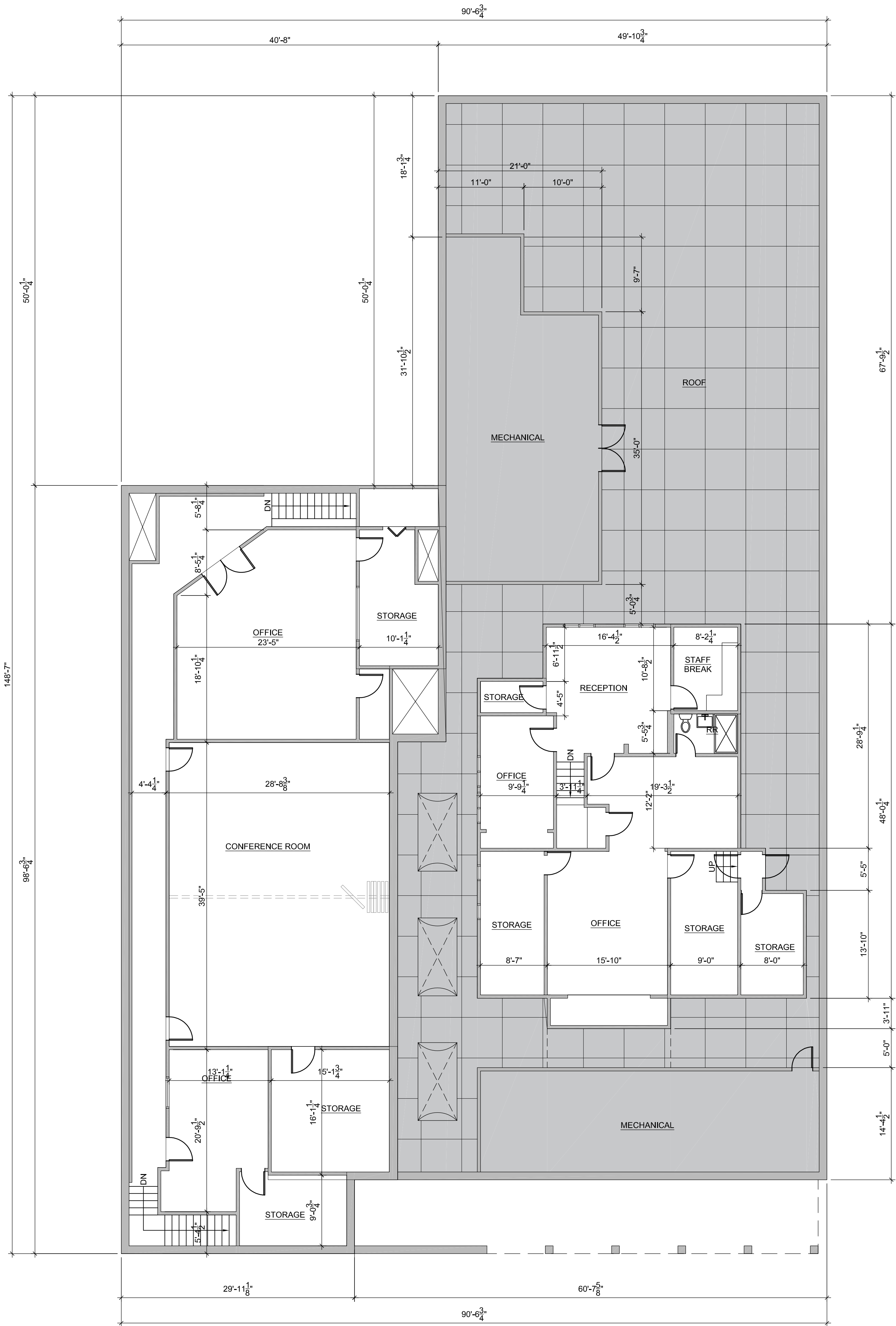
1	CONSTRUCT NEW WALLS, AS INDICATED.
2	RESKIM WALLS TO LEVEL 4 FINISH. PATCH & REPAIR WALLS THROUGHOUT.
3	PROVIDE NEW MILLWORK UPPER/LOWER CABINETS. REFER TO ELEVATIONS, SHEET A-6.1.
4	SPACE FOR TENANT'S FULL HEIGHT REFRIGERATORS. COORDINATE W/ APPLIANCE SPECS.
5	PROVIDE NEW GARBAGE DISPOSAL W/ ON/OFF SWITCH @ +44" AFF, UNO. SPEC: IN-SINK-ERATOR OR EQUAL.
6	PROVIDE NEW UNDERCOUNTER, TANKLESS WATER HEATER. SPEC: INSTA-HOT OR EQUAL.
7	PROVIDE NEW TOILET AND SINK. SPEC:
8	RELOCATED FEC.
9	PROVIDE 3/4" THICK, FIRE RETARDANT TREATED PLYWOOD BACKBOARD FOR TENANT'S TELEPHONE EQUIPMENT. SIZE TO BE DETERMINED BY TENANT'S TELEPHONE VENDOR.
10	CLEAN UTILITY CLOSET FLOOR SINKS TO BE LIKE NEW.

	REFER TO SHEET D-1.1 FOR WALL CONSTRUCTION DETAILS.
B	ALL INTERIOR PARTITIONS SHALL BE TYPE P1, UNO, TAPED SMOOTH & SANDED TO RECEIVE NEW FINISH.
C	DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO HAVE THE HINGE SIDE LOCATED 4" OFF THE ADJACENT PARTITION.
D	REPLACE TINTING ON WINDOWS AS REQUIRED DUE TO DAMAGE. COORDINATE WITH KAMUS + KELLER ON UNITS.
E	ALL NEW CONSTRUCTION IN SUITE TO MAINTAIN CONSISTENCY WITH EXISTING (STUD SIZE, ETC.).
F	USE 5/8" THICK TYPE "X" GYPSUM BOARD THROUGHOUT, UNO.
G	ALL GLASS USED IN PROJECT SHALL BE TEMPERED AND ALL EXPOSED EDGES POLISHED.
H	PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS.
I	ALL PENETRATIONS THROUGH RATED WALLS MUST BE FIRE SEALED PER UL METHODS.
J	CONTROLS AT SINK SHALL COMPLY WITH ACCESSIBILITY STANDARD PER CBC; SHALL BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST; SHALL NOT REQUIRE MORE THAN 5 LBS. FORCE TO ACTIVATE AND SHALL BE LEVER TYPE HANDLES.
K	PROVIDE TACTILE EXIT SIGNAGE THAT COMPLIES WITH CBC 1013.4. REFER TO SHEET A-0.1 FOR LOCATIONS.
L	PROVIDE BACKING IN WALLS FOR ALL WALL HUNG FIXTURES, TVS/MONITORS & MILLWORK. REFER TO DETAIL 11/D-1.1.
M	PROVIDE SUBMITTALS OF ALL GC PROVIDED FIXTURES, MATERIALS (FINISHES, PLUMBING FIXTURES, ELECTRICAL COMPONENTS, DOOR/FRAME & HARDWARE, LIGHT FIXTURES, ETC.) AND MILLWORK SHOP DRAWINGS TO ARCHITECT FOR REVIEW, PRIOR TO ORDER PLACEMENT. IF SUBMITTALS ARE NOT PROVIDED & REVIEWED BY ARCHITECT, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COST ASSOCIATED WITH CHANGE ORDER.
N	KAMUS + KELLER SHALL REVIEW PROVIDED SUBMITTALS FOR GENERAL CONFORMANCE WITH THE CONTRACT DOCUMENTS ONLY. REVIEW OF SUCH SUBMITTALS IS NOT FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER INFORMATION SUCH AS DIMENSIONS, QUANTITIES AND INSTALLATION OR PERFORMANCE OF EQUIPMENT OR SYSTEMS, WHICH ARE THE CONTRACTOR'S RESPONSIBILITY. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE APPROVAL OF SAFETY PRECAUTIONS, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OF PROCEDURES OF CONSTRUCTION, FABRICATION, TRANSPORTATION OR INSTALLATION. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.



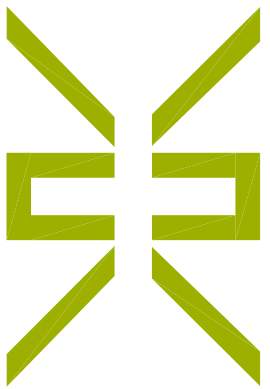
1 PROPOSED 2ND FLOOR - FOR REFERENCE ONLY

Scale: 1/8" = 1'-0"




DEMOLITION LEGEND

- EXISTING WALL TO REMAIN.
- NIC NOT IN CONTRACT.



KAMUS + KELLER
562.218.5244
kk@a.com



DATE SIGNED: 01.10.2020

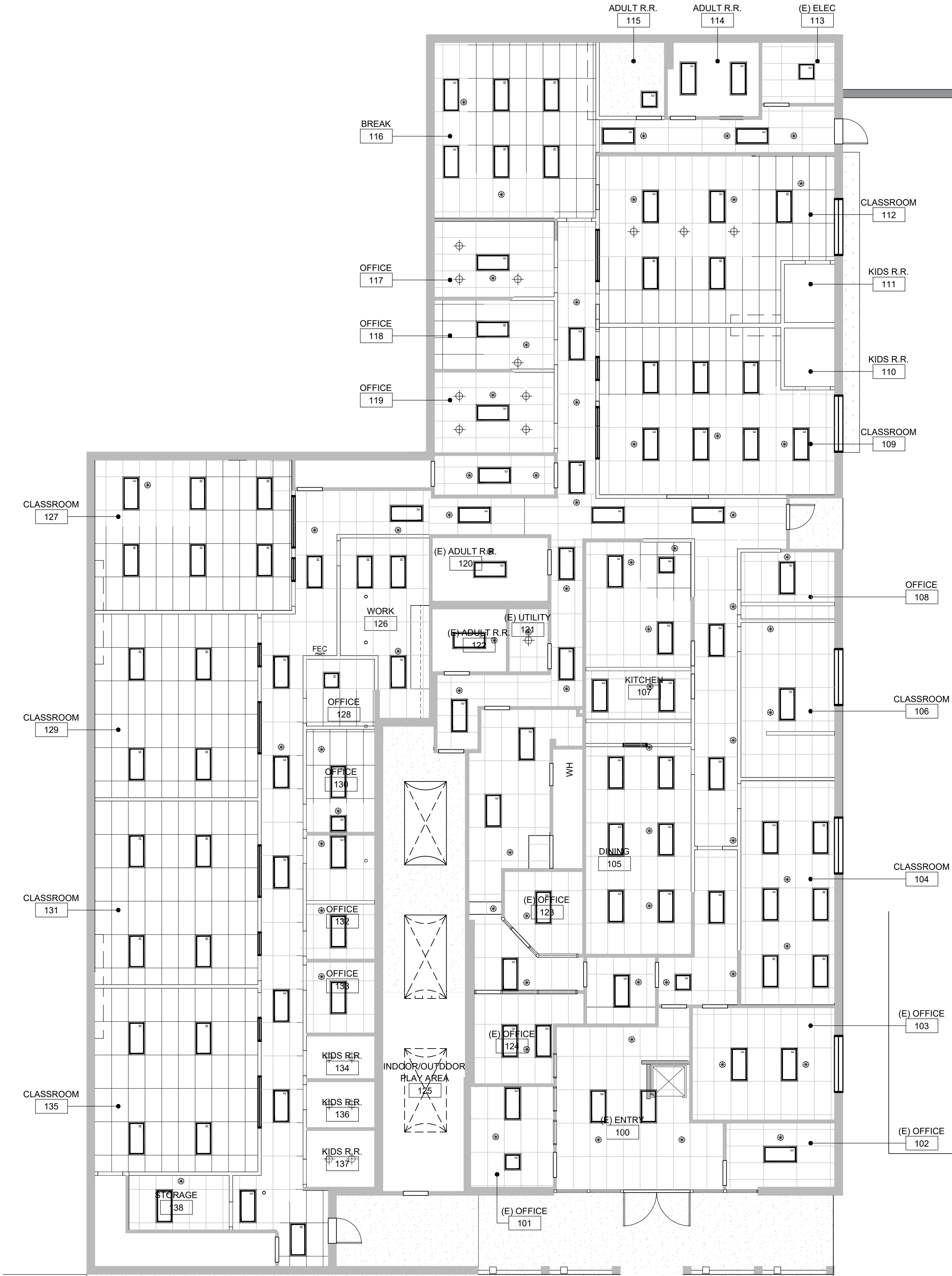
PRECIOUS LAMB
1250 PACIFIC AVE.
LONG BEACH, CA 90813
[PROJECT NO: 23.0283.00]

SHEET TITLE	FOR REVIEW		DATE		DESCRIPTION	
	REV	DESCRIPTION	DATE	BY	REV	DESCRIPTION
AS-BUILT DEMOLITION PLAN	1	CUP PLANNING SUBMITTAL	1/19/2024	XX.XX.XX	1	CUP PLANNING SUBMITTAL
		CUP PLANNING RESUBMITTAL	5/17/2024	DC		CUP PLANNING RESUBMITTAL

SHEET NO.
A-1.1A

1 REFLECTED CEILING PLAN - 1ST FLOOR

Scale : 1/8" = 1'-0"



REFLECTED CEILING LEGEND

- EXISTING 2X2or4 CEILING GRID, TILES AND FLS EQUIPMENT TO REMAIN.
- NEW 2X2or4 CEILING GRID & TILES. GRID SPEC: TBD
TILE SPEC: TBD
REF. #/D-2.1
- NEW DRYWALL CEILING. REF. #/D-2.1
- +#/-# INDICATES CEILING HEIGHT
- ILLUMINATED DIRECTIONAL EXIT SIGN. SPEC: TBD
- (E) AIR RETURN GRILLE
- (E) AIR SUPPLY GRILLE

LIGHTING SCHEDULE

- E EXISTING
- R RELOCATED
- F-1 NEW 2X2 LED LIGHT FIXTURE. SPEC: TBD. REF. #/D-2.1
- F-2 NEW 2X4 LED LIGHT FIXTURE. SPEC: TBD. REF. #/D-2.1
- F-3 NEW 4" SQUARE LED DOWNLIGHT. SPEC: TBD.

REFLECTED CEILING GENERAL NOTES

- A THE GENERAL CONTRACTOR (GC) SHALL NOTIFY KAMUS + KELLER INC OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL, ELECTRICAL OR MECHANICAL DRAWINGS AND OBTAIN CLARIFICATION BEFORE COMMENCING WORK.
- B LOCATIONS OF CEILING PENETRATIONS SUCH AS EXHAUST FANS, PROJECTION SCREENS, LIGHT FIXTURES, ETC., SHALL APPEAR ON ARCHITECTURAL REFLECTED CEILING PLAN. LOCATIONS OF CEILING PENETRATIONS SUCH AS AIR DIFFUSERS AND GRILLES, ETC. SHALL APPEAR ON MECHANICAL ENGINEERING PLANS. WHERE DISCREPANCIES OCCUR, THE ARCHITECTURAL PLAN SHALL GOVERN.
- C ALL CEILING INTERRUPTIONS, SUCH AS FURR DOWNS OR PARTITIONS, SHALL BE CHECKED AND THEIR CONTRACTIBILITY CONFIRMED BEFORE ANY RELATED ELEMENTS ARE CONSTRUCTED. IF THERE ARE ANY QUESTIONS REGARDING THESE OR ANY OTHER COORDINATION QUESTIONS, THE GC IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM KAMUS + KELLER INC BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
- D THERE SHALL BE NO COMBUSTIBLE MATERIALS USED IN THE PLENUM SPACE INCLUDING ALUMINUM FLEX, ALUMINUM CONDUITS AND POT METAL CONNECTORS. ALL CONNECTORS SHALL BE STEEL.
- E CONDUIT MUST BE SECURED A MINIMUM OF 6" CLEAR ABOVE THE CEILING GRID.
- F LIGHTING, SWITCHES & LIGHT SENSORS SHALL MEET TITLE 24 REQ'TS, SEE ELECTRICAL PLANS FOR MORE INFORMATION.
- G LOCATE ANY RECESSED DOWNLIGHTS, WALL WASHERS AND SPOTLIGHTS IN THE CENTER OF CEILING TILE AND SO THAT FIXTURE IS NOT LESS THAN 1'-6" OR MORE THAN 2'-6" FROM FACE OF WALL U.O.N. EARTHQUAKE CLIPS AND WIRES SHALL BE USED.
- H CENTER OF SWITCH SHALL BE LOCATED BETWEEN 36" AND 48" AFF.
- I GC SHALL PROVIDE RECORD DOCUMENTS TO OWNER AT COMPLETION OF TENANT CONSTRUCTION PRIOR TO APPLICATION FOR FINAL PAYMENT.
- J CEILING SUSPENSION SYSTEMS SHALL BE CONNECTED AND BRACED DIRECTLY TO THE STRUCTURE AT THE MEANS OF EGRESS SERVING AN OCCUPANT LOAD OF 30 OR MORE. SPACING OF VERTICAL HANGERS SHALL NOT EXCEED 2'-0" ON CENTER ALONG THE ENTIRE LENGTH OF THE MEANS OF EGRESS OR LOBBY WHEN THE DISTANCE BETWEEN THE STRUCTURAL DECK AND THE SUSPENDED CEILING EXCEEDS 4'-0".
- K POSITIVE BRACING TO THE STRUCTURE SHALL BE PROVIDED AT CHANGES IN THE CEILING PLANE ELEVATION OR AT DISCONTINUITIES IN THE CEILING GRID SYSTEM.
- L CABLE TRAYS, ELECTRICAL CONDUITS AND PIPING SHALL BE INDEPENDENTLY SUPPORTED AND INDEPENDENTLY BRACED FROM THE STRUCTURE.
- M HVAC PERFORMANCE IS BASED UPON OCCUPANCY DENSITY OF NO MORE THAN ONE PERSON PER 100 SF OF USABLE AREA PREMISES. EQUIPMENT SHALL CONSIST OF NEW/LIKE NEW WORKING CONDITION ROOF MOUNTED PACKAGE UNITS SERVING TENANT SPACE ONLY AND PROVIDING 1 TON PER 375 SF OF COOLING. PROVIDE DISTRIBUTION AS REQUIRED. SUPPLY AND RETURN AIR SHALL EACH BE DUCTED TO AND FROM THE ROOF TOP EQUIPMENT OR CENTRAL PLANT. SCOPE OF WORK SHALL INCLUDE CODE REQUIRED SMOKE AND FIRE DAMPERS, THERMOSTATS, CONDENSATION LINES, DRAINS AND GAS LINES AS REQUIRED TO SUPPORT TENANT'S MECHANICAL SYSTEM. LATERAL EXTENSION DOWNSTREAM OF THE POINTS OF ENTRIES AND STUBS, INCLUDING DUCTWORK AND ASSOCIATED VAV BOXES, PIPING, CONTROLS, POWER, ETC. SHALL BE INCLUDED. HVAC TO BE A COMPLETE TURN KEY SYSTEM.
- N ALL EMERGENCY LIGHTING AND EXIT SIGNS TO BE ON 90 MIN BATTERY BACK-UP OR TIED INTO BUILDING'S BACK-UP GENERATOR. GC TO CONFIRM APPLICABLE APPLICATION WITH BUILDING ENGINEER.

REFLECTED CEILING KEYNOTES

- 1 PROVIDE LIGHTING LAYOUT AS SHOWN. REWORK EXISTING SWITCHING AS REQUIRED..
- 2 CONFIRM LOCATION OF SWITCHING FOR OPEN OFFICE AREAS. SWITCHING SHOULD BE LOCATED NEAR ENTRY/EXIT DOORS. RELOCATE IF REQUIRED.
- 3 EXISTING 2X4 CEILING GRID AND TILE TO BE EXTENDED IN THIS AREA. SPEC: TO MATCH EXISTING.
- 4 CLEAN & RE-LAMP EXISTING LIGHTS THROUGHOUT AS NEEDED.
- 5 THOROUGHLY CLEAN ALL EXISTING HVAC SUPPLY AND RETURN AIR REGISTERS AND GRILLES.
- 6 REWORK EXISTING HVAC AS REQUIRED AND REBALANCE.
- 7 REPLACE ALL DAMAGED OR DISCOLORED CEILING TILES.
- 8 EXTEND & REWORK EXISTING FLS EQUIPMENT AS REQUIRED BY LOCAL FIRE DEPARTMENT.
- 9 AT OPEN CEILING CONDITIONS, GC TO CLEAN/REPAIR STRUCTURE ABOVE. ALL FLEX CONDUIT SHALL BE REPLACED WITH RIGID. ALL NEW SPIRAL DUCTWORK TO REMAIN EXPOSED. GRILLS TO BE CURVED, FACTORY FINISH, WHITE. ALL DUCTWORK, CONDUIT, CABLING, SPRINKLER & PLUMBING LINES MUST BE SECURE, AS REQUIRED, MAINTAINING 90 DEGREE TURNS ON THE HORIZONTAL PLANE AND PAINTED P-# (INCLUSIVE OF EXPOSED CEILING, EXCLUDING CABLING).
- 10 PROVIDE POWER AT NEW ELECTRIFIED MAGNETIC CATCH FOR CARD READER. PROVIDE J-BOX, CONDUIT, ELECTRICAL HARDWARE, AS REQUIRED. GC TO COORDINATE WITH TENANT'S SECURITY VENDOR FOR REQUIREMENTS.

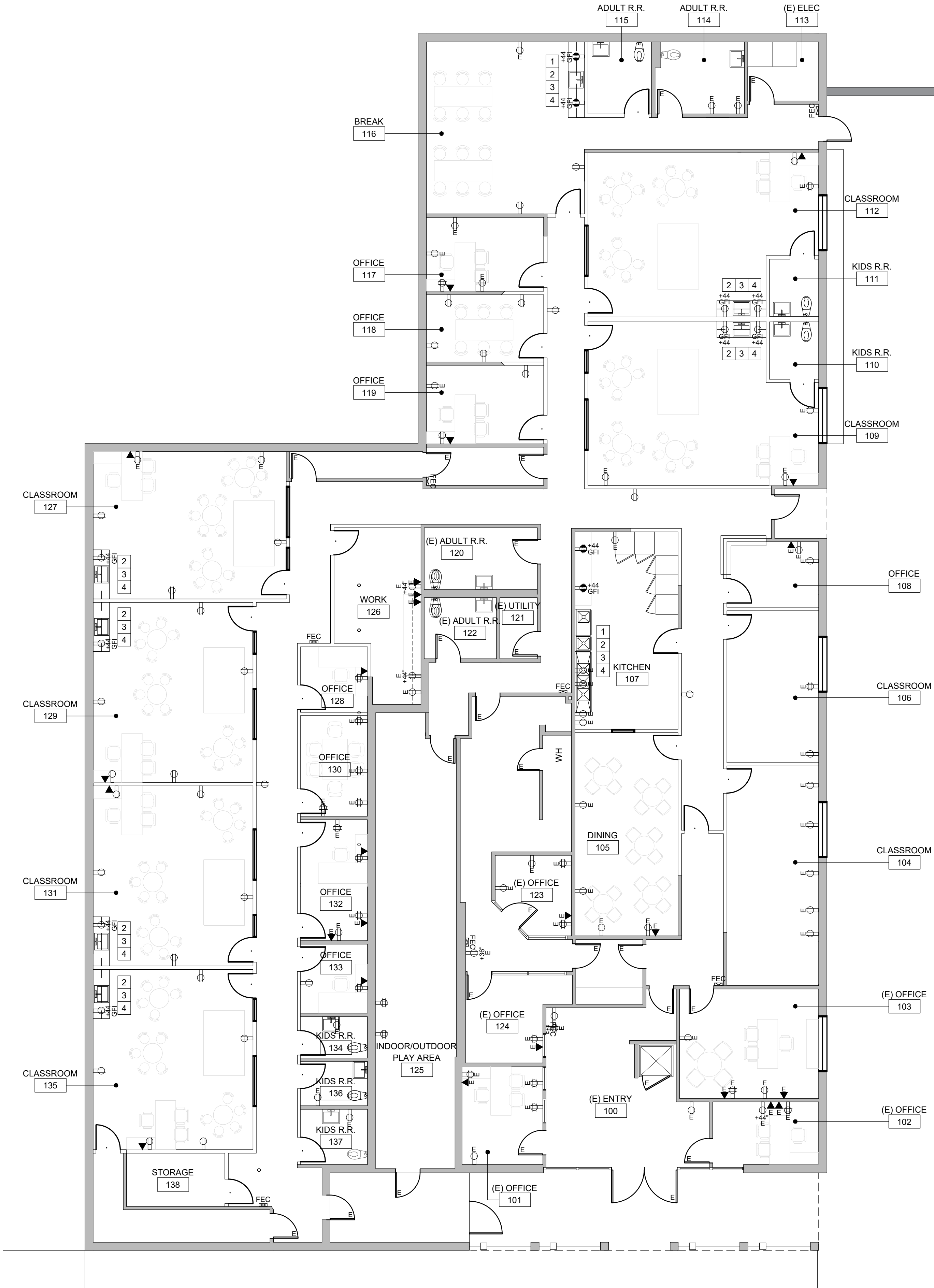


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SHEET TITLE	FOR REVIEW	DATE	BY
REFLECTED CEILING PLAN	CUP PLANNING SUBMITTAL	1/19/2024	DC
SHEET NO.	CUP PLANNING RESUBMITTAL	5/17/2024	
A-3.1	1		

1 POWER & DATA PLAN - 1ST FLOOR

Scale : 1/8" = 1'-0"



POWER & DATA LEGEND

NOTE: ALL OUTLETS ARE NEW, BLDG STD AND MOUNTED 18" TO C.L., UNLESS NOTED OTHERWISE.

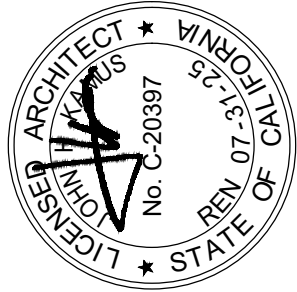
- E EXISTING
- (N) DUPLEX OUTLET, FLUSH WALL MOUNTED
- (N) DEDICATED DUPLEX OUTLET, FLUSH WALL MOUNTED
- (N) QUADRAPLEX OUTLET, FLUSH WALL MOUNTED
- (N) TELE/DATA OUTLET, FLUSH WALL MOUNTED

POWER & DATA GENERAL NOTES

- A IF ANY OUTLETS CANNOT BE INSTALLED AS INDICATED DUE TO CONFLICTS IN THE FIELD, ADVISE KAMUS + KELLER PRIOR TO PROCEEDING WITH OUTLETS IN QUESTION OR RELATED OUTLETS IN AREA.
- B INSTALL ADJACENT TELEPHONE AND ELECTRICAL OUTLETS AT 6" ON CENTER, UNO.
- C INSTALL ALL OUTLETS ADJACENT TO WALLS 18" MAX FROM FACE OF WALL TO CENTERLINE OF OUTLET.
- D ALL NEW CIRCUITS SHALL BE AS SPECIFIED ON ELECTRICAL DRAWINGS & LABELED ON THE PROPER BUILDING ELECTRICAL PANEL DIRECTORIES.
- E ALL NEW OUTLETS ARE TO BE INSTALLED TO THE NEAREST STUD.
- F ALL COVER PLATES SHALL BE CURRENT BLDG STD. GC TO VERIFY & REPLACE, IF REQ'D.
- G CONDUIT ABOVE CEILING MUST BE SELF-SUPPORTED 8" MIN. ABOVE GRID IN STEEL CONDUIT.
- H WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH MILLWORK, FIXTURES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. CUT-OUTS FOR SWITCHES, OUTLETS, ETC., SHALL BE COORDINATED BETWEEN THE MILLWORK AND ELECTRICAL CONTRACTORS UNO.
- I WHERE LOCATION OF OUTLET DISCREPANCIES OCCUR, ARCHITECTURAL PLANS SHALL GOVERN. CONTACT ARCHITECT TO VERIFY.
- J WHERE DATA PORTS ARE CALLED FOR, PROVIDE A DOUBLE GANG J-BOX WITH PULL STRING & 1" CONDUIT. COVER PLATE AND CABLE WORK SHALL BE DONE BY OTHERS. THIS SHALL INCLUDE PROVISIONS FOR CABLE RUNS FROM BACKBOARD TO TELE/DATA SYSTEM AS OCCURS. THIS WORK BY OTHERS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH KAMUS + KELLER APPROVAL. CABLE SHALL TRAVEL VIA BEST PATH ACROSS CEILING PLENUM TO BACKBOARD AS CALLED FOR ON DRAWINGS.
- K WHERE TELEPHONE JACKS ARE CALLED FOR, PROVIDE A SINGLE GANG J-BOX WITH PULL STRING AND 3/4" METAL CONDUIT STUBBED UP 8" ABOVE GRID. COVER PLATE BY TELEPHONE COMPANY. TELEPHONE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR. CONDUIT IN PLENUM AREA IS NOT REQUIRED WHEN PLENUM RATED TELEPHONE CABLE IS USED.
- L GANG RECEPTACLES AS TIGHTLY AS POSSIBLE.
- M DEDICATED SHALL MEAN SOLE USE.
- N GC TO VERIFY THE HEIGHT OF ALL EXISTING RECEPTACLES TO REMAIN. WHERE NOT STANDARD IN HEIGHT, GC SHALL RELOCATE TO STANDARD HEIGHT, UNO.
- O ALL ROUGH-INS ARE TO BE INSPECTED BY CONTRACTOR BEFORE ANY WALL FINISHES ARE TO BE INSTALLED.
- P VERIFY ALL REQUIREMENTS FOR TENANT SUPPLIED APPLIANCE & EQUIPMENT ITEMS.
- Q GC TO VERIFY ALL RECEPTACLES (EXISTING TO REMAIN) ARE LIVE.

POWER & DATA KEYNOTES

- 1 PROVIDE NEW GARBAGE DISPOSAL W/ POWER PER MFR & WALL SWITCH @ 44" AFF. SPEC: IN-SINKERATOR OR EQ.
- 2 PROVIDE NEW UNDERCOUNTER TANKLESS WATER HEATER W/ POWER PER MFR. SPEC: CHRONOMITE OR EQ.
- 3 PROVIDE DEDICATED POWER FOR TENANT'S APPLIANCE/EQUIPMENT. VERIFY POWER/PLUG REQ'S.
- 4 ALL RECEPTACLES WITHIN 6'-0" OF A SINK (ABOVE OR BELOW) AND AT INTERIOR WET LOCATIONS SHALL BE G.F.I. TYPE
- 5 PROVIDE HOME RUN FROM BACKBOARD TO BUILDING TELEPHONE ROOM. VERIFY CONDUIT SIZE.
- 6 LOCATIONS OF FLOOR OUTLETS TO BE VERIFIED WITH TENANT AND TENANT'S FURNITURE VENDOR.
- 7 PROVIDE TRANSIENT VOLTAGE SURGE SUPPRESSOR ON BREAKER PANEL FEEDING SERVER ROOM.



DATE SIGNED: 01.10.2020

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[PROJECT NO: 23.0283.00]

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FOR REVIEW
CUP PLANNING SUBMITTAL
CUP PLANNING RESUBMITTAL

1

SHEET TITLE

POWER & DATA PLAN

SHEET NO.

A-4.1

XX.XX.XX
1/19/2024
5/17/2024

DATE

DESCRIPTION

BY

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
2. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT AND/OR TENANT CONSTRUCTION COORDINATOR BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.
4. CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
5. CONTRACTOR SHALL SUBMIT CONFIRMATIONS WITH DELIVERY DATES FOR ORDERS OF ORDERED ITEMS.

CONTRACTOR SHALL SUBMIT ONE SEPIA SET OF SHOP DRAWINGS OF ALL STONework, MILLwork, MISCELLANEOUS METAL, DOORS, DOOR HARDWARE AND EQUIPMENT. SHOP DRAWINGS SHOULD INCLUDE DETAILED FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGRAMMATIC DRAWINGS AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHALL BE CLEARLY INDICATED. BEGIN FABRICATION ONLY AFTER RECEIVING ARCHITECTS AND/OR TENANT CONSTRUCTION COORDINATOR'S APPROVAL OF SHOP DRAWINGS.

ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.
7. ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED. FEE REQUIREMENTS ESTABLISHED BY OWNER, TENANT, OR BOTH.
9. "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
10. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
11. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED.
12. COLUMN CENTER LINES (ALSO REFERRED TO AS GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES. (RE: BASE BUILDING DRAWINGS EXACT LOCATION.)
13. ALL VERTICAL DIMENSIONS SHOWN ARE FLOOR TO SLAB, UNLESS OTHERWISE INDICATED.
14. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
15. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE EXISTING BUILDING STANDARDS U.O.N.
16. CONTRACTOR SHALL PATCH ALL EXISTING WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE LEASE SPACE TO "LIKE NEW" CONDITION AND REPAIR ALL DAMAGES.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB SITE AFTER ITS COMPLETION. CLEANING SHALL INCLUDE INTERIOR OF THE BUILDING AND PATH OF TRAVEL TO THE JOB SITE AND SHALL INCLUDE THE PARKING LOT, ELEVATORS, LOBBIES AND CORRIDOR CARPET.
18. CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS & SHALL PROVIDE SAID DOCUMENTATION TO TENANT CONSTRUCTION COORDINATOR UPON COMPLETION OF TENANT CONSTRUCTION. NO EXCEPTIONS.
19. PROVIDE AN APPROVED FIRE ALARM SYSTEM AS REQUIRED PER 2019 CFC SECT. 907.
20. FIRE EXTINGUISHERS REQUIREMENTS SHALL BE INSTALLED PER 2019 CFC SECT. 906.

DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS (40.5 CUBIC FEET (1.15 CUBIC METERS)) OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET (1524MM) OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES. EXCEPTIONS: DUMPSTERS OR CONTAINERS IN AREAS PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED THROUGHOUT IN ACCORDANCE WITH 2019 CFC SECT. 903.3.1.1, 903.3.1.2 OR 903.3.1.3.
22. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES (12.7MM). 2019 CFC SECTION 505.1
23. INTERIOR FINISHES SHALL BE PROVIDED IN ACCORDANCE WITH TITLE 24 SECTION 804 AS FOLLOWS: CLASS 1 - VERTICAL ENCLOSURES, CLASS II CORRIDORS, CLASS III ROOMS.
24. MAXIMUM OCCUPANT LOAD FOR A ASSEMBLY USE SHALL NOT EXCEED THE OCCUPANT LOAD AS DETERMINED WITH 2019 CBC SECTION 1004 & TABLE 1004.1.2
25. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
26. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR: HVAC, CARPET SEAMING, LIGHTING, CASEWORK.

THE FLOORS MAY BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL PERSONNEL, PASSERBY OR VISITORS TO THE SITE FROM HARM AND INJURY. BARRIERS SHALL BE INSTALLED AS REQUIRED TO PROTECT EQUIPMENT INSTALLED DURING CONSTRUCTION. CAREFULLY MAINTAIN AND PROTECT MONUMENTS, BENCH MARKS AND THEIR REFERENCE POINT FROM BEING DESTROYED OR DISTURBED AND REPLACE AS REQUIRED.
28. A MOISTURE TEST IS REQUIRED FOR ALL SLAB ON GRADE CONDITIONS. DURING THE CONSTRUCTION ESTIMATING AND BUDGETING PROCESS THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FROM THE BUILDING OWNER, DOCUMENTATION AS TO THE VAPOR EMISSIONS RATE (MOISTURE TEST) FOR ALL "SLAB ON GRADE CONDITIONS". THIS INFORMATION SHOULD THEN BE IMMEDIATELY SHARED BETWEEN THE ARCHITECT, THE ARCHITECT'S SELECTED FLOORING REPRESENTATIVE(S), AND FLOORING SUB-CONTRACTOR FOR REVIEW AND APPROVAL OF APPLICABLE MATERIALS AND ANCILLARY INSTALLATION OF FINISH PRODUCTS. IF NO MOISTURE TEST CAN BE FURNISHED OR IF THE FINDINGS ARE IN QUESTION THE GENERAL CONTRACTOR SHALL PERFORM THE FOLLOWING TESTS:

a. PROVIDE (3) CALCIUM CHLORIDE MOISTURE TESTS FOR THE FIRST THOUSAND SQUARE FEET AND (1) TEST FOR EVERY ONE THOUSAND SQUARE FEET THEREAFTER AT ALL FLOORS WITHIN SCOPE OF WORK. THE CALCIUM CHLORIDE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ASTM F 1869 "STANDARD TEST METHOD" FOR MEASURING VAPOR EMISSIONS RATE OF CONCRETE SUN-FLOOR USING ANHYDROUS CALCIUM CHLORIDE. PROVIDE A WRITTEN REPORT OF FINDINGS TO THE ARCHITECT AS NOTED ABOVE.
- CONCRETE SLAB ON GRADE REPAIR - MINOR SCOPE (100 SQUARE FEET OR LESS) WHERE CONCRETE SLAB ON GRADE INFILL AND TRENCHING MUST OCCUR, CONDUCT THE APPROPRIATE UNDER SLAB INVESTIGATION (VIA SOON-GRAPH AND/OR X-RAY) TO LOCATE EXISTING UTILITIES OR OTHER OBSTRUCTION THAT SHOULD NOT BE DAMAGED. SAW CUT SLAB AT SUBJECT AREA(S) AND PULL BACK THE EXISTING VAPOR BARRIER (IF PRESENT) AND PROTECT FOR FUTURE RE-INSTALLATION. EXECUTE THE NECESSARY UNDER-SLAB WORK (INCLUDING EXCAVATION), BACKFILL AND RE-COMPACT THE SUBJECT AREA WITH THE PREVIOUSLY HELD MATERIALS (IF THE EXCAVATED MATERIALS ARE NOT SUITABLE FOR RE-INSTALLATION, DISCARD AND PROVIDE NEW FREE DRAINING GRANULAR MATERIAL). RE-COMPACT FILL SOIL TO AT LEAST 95% OF THE MAXIMUM DRAIN DENSITY (MDD) OBTAINED IN GENERAL ACCORDANCE WITH THE ASTM D 1557 TEST PROCEDURE. RE-INSTALL THE EXISTING VAPOR BARRIER AND BIND SEAMS WITH MINIMUM 3" PRESSURE SENSITIVE TAPE TO ENSURE AN AIR/MOISTURE RESISTANT BOND. ATTACH NEW INFILL TO EXISTING CONCRETE SLAB WITH 18" LONG #4 REBAR AT 24" ON CENTER EMBEDDED 8" INTO THE EXISTING CONCRETE SLAB WITH HILTI HY-150 ADHESIVE (OR SIMPSON SET ADHESIVE). REINFORCEMENT SHALL BE INSTALLED PER ADHESIVE MANUFACTURER'S RECOMMENDATIONS. PROVIDE W2 x W2 x 6 x 6 WELDED WIRE FABRIC WITHIN SUBJECT AREA(S). INFILL SLAB TO MATCH THICKNESS OF ADJACENT SURFACES (BUT NOT BE LESS THAN 4" THICK) AND #4 DOWELS SHALL BE CENTERED IN SLAB. THE CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER CEMENT RATION OF 0.58 AND IS TO BE PLACED LEVEL WITH ADJACENT SURFACES. LET CURE AND PROVIDE MOISTURE TESTING AS SPECIFIED ABOVE.
30. IF SCOPE OF WORK INCLUDES STRUCTURAL ELEVATED SLABS CONSULT A STRUCTURAL ENGINEER. REFER TO STRUCTURAL PLANS IF APPLICABLE, FOR ADDITIONAL SPECIFICATIONS AND REQUIREMENTS.

CONSTRUCTION NOTES

1. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT; PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
2. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILE, VCT, ETC.
3. DIMENSIONS LOCATING DOORS BY EDGE ARE TO THE INSIDE EDGE OF JAMB, UNLESS OTHERWISE NOTED.
4. PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTER LINE OF COLUMN OR WINDOW MULLION, UNLESS OTHERWISE NOTED.
5. COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.

MAXIMUM PULL OR PUSH EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR INTERIOR AND EXTERIOR DOORS. MEASURED AT RIGHT ANGLES TO HINGED DOORS AND AT CENTER PLANE OF SLIDING OR FOLDING DOORS. CORRESPONDING DEVICES OF AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. MAXIMUM EFFORT TO OPERATE REQUIRED FIRE DOORS MAY BE INCREASED NOT TO EXCEED 15 POUNDS.
7. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE WHICH RETRACT BOTH LOCKS WITH A SINGLE OPERATION.
8. "DEAD BOLT ARE NOT PERMITTED ON EXIT DOORS". G.C. TO PROVIDE A DURABLE SIGN PLACED OVER THE MAIN EXIT DOORS STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

DRAFTING CONVENTION NOTES

1. PRECEDENCE:

a. LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER ALL. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES IN WRITING.
2. DIMENSION CONVENTIONS:

a. HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF FINISH, UNLESS OTHERWISE NOTED.

b. DIMENSIONS NOTED "CLEAR" OR "CLR." MUST BE PRECISELY MAINTAINED: ALLOWING FOR THICKNESS OF MATERIALS.

c. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL, UNLESS NOTED.

d. DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE FINISHED FACE OF THE WALL UNLESS OTHERWISE NOTED.

e. DIMENSIONS TO EXTERIOR GLAZING ARE TO THE INSIDE FACE OF THE EXTERIOR GLAZING.

f. VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

g. DO NOT SCALE DRAWINGS. IF ANY ITEM OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK BEFORE CLARIFYING WITH ARCHITECT.

h. VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO START OF CONSTRUCTION. REPORT INCONSISTENCIES TO ARCHITECT.
3. DEFINITIONS OF TERMINOLOGY:

a. "TYPICAL" MEANS IDENTICAL FOR ALL CONDITIONS, UNLESS OTHERWISE NOTED.

b. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.

c. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.

d. "FURNISH" MEANS FURNISH ONLY. INSTALLATION BY TENANT / OWNER UNLESS OTHERWISE NOTED.

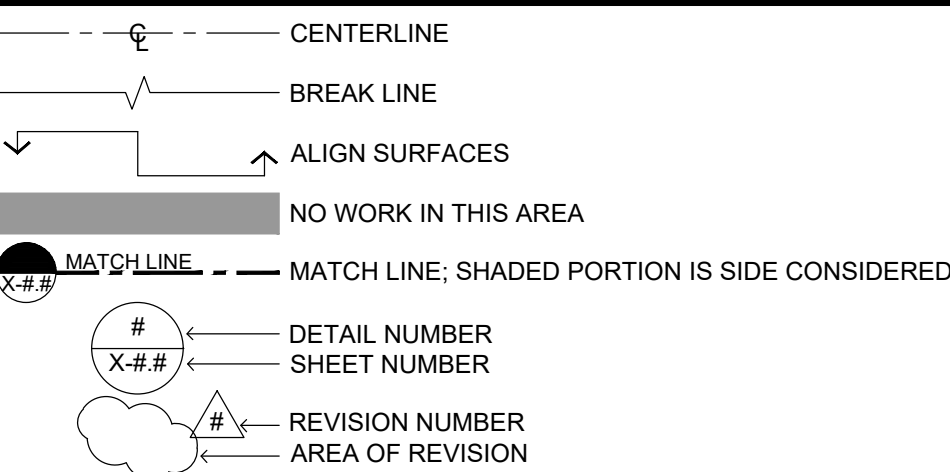
e. "INSTALL" MEANS PUT INTO PLACE. SUPPLIED BY TENANT / OWNER UNLESS OTHERWISE NOTED.

f. "ALIGN" MEANS ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

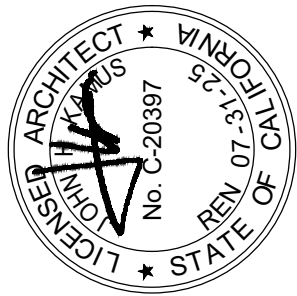
ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE	MDF	MEDIUM DENSITY FIBERBOARD
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
APPV	APPROVED	MTL	METAL
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AVG	AVERAGE	MW	MICROWAVE
BD	BOARD	N or (N)	NEW
BKG	BACKING	NIC	NOT IN CONTRACT
BLDG	BUILDING	NRC	NOISE REDUCTION COEFFICIENT
BLKG	BLOCKING	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
CONC	CONCRETE	OPP OPNG	OPPOSITE
CONF	CONFERENCE	ORIG	OPENING
CR	CARD READER	OVHD	ORIGINAL
CT	CERAMIC TILE		OVERHEAD
CTR	CENTER		
DBL	DOUBLE	PC	PIECE
DF	DRINKING FOUNTAIN	PERP	PERPENDICULAR
DIM	DIMENSION	PL	PLATE
DN	DOWN	P-LAM	PLASTIC LAMINATE
DW	DISHWASHER	PR	PAIR
E or (E)	EXISTING		
EA	EACH		
ELEV	ELEVATION	QTY	QUANTITY
ELEC	ELECTRICAL	QUAL	QUALITY
EQ	EQUAL		
EP	ELECTRICAL PANEL		
FD	FLOOR DRAIN	R or (R)	RELOCATED
FE	FIRE EXTINGUISHER	RCP	REFLECTED CEILING PLAN
FEC	FIRE EXTINGUISHER CABINET	REF	REFERENCE
FF	FINISH FACE	REV	REVISION/REVISED
FLR	FLOOR	RH	RIGHT HAND
FO	FACE OF	RM	ROOM
		RO	ROUGH OPENING
GA	GAUGE	SC	SOLID CORE
GC	GENERAL CONTRACTOR	SF	SQUARE FEET
GD	GARBAGE DISPOSAL	SIM	SIMILAR
GL	GLASS	SPEC(S)	SPECIFICATION(S)
GYP	GYPSPUM	STD	STANDARD
		STRL	STRUCTURAL
HDWR	HARDWARE	TBD	TO BE DETERMINED
HM	HOLLOW METAL	TEMP	TEMPERED
HO	HOLD OPEN	THRES	THRESHOLD
HOR	HORIZONTAL	TYP	TYPICAL
HVAC	HEATING VENTILATION & AIR CONDITIONING		
INCL	INCLUDING		
INFO	INFORMATION	UNO	UNLESS NOTED OTHERWISE
INSUL	INSULATION	UON	UNLESS OTHERWISE NOTED
INT	INTERIOR		
ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY		
JAN	JANITOR	VIF	VERIFY IN FIELD
J-BOX	JUNCTION BOX	VERT	VERTICAL
		VCT	VINYL COMPOSITION TILE
LAV	LAVATORY	WI	WITH
LH	LEFT HANDED	WC	WALLCOVERING
LVT	LUXURY VINYL TILE	WD	WOOD
		WH	WATER HEATER
		W/O	WITHOUT
		WP	WATERPROOF
		YD	YARD

ARCHITECTURAL LEGEND



562.216.5244
kklaa.com

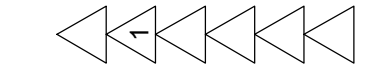


DATE SIGNED: 01.10.2020

PRECIOUS LAMB
1250 PACIFIC AVE.
LONG BEACH, CA 90813
[PROJECT NO.: 23.0283.00]

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FOR REVIEW	XX-XX-XX	XX	BY
CIP PLANNING SUBMITTAL	1/19/2024	DC	DATE
CIP PLANNING RESUBMITTAL	5/17/2024		



SHEET TITLE
GENERAL NOTES
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GN-1.1